



5 Hartington Road

Salisbury, SP2 7LG

Guide price £339,950



****VIEWINGS FROM THE 2ND JANUARY**** A greatly improved character home offering a generous level of accommodation along with an attractive rear garden, 5 Hartington Road is a handsome three storey house which can only be appreciated by a viewing. The accommodation includes an entrance lobby, hallway, sitting room, dining room, and an open-plan kitchen. There are three double bedrooms and a spacious bathroom. The property is double glazed, with gas heating, and has been significantly improved by the current owner. Highlights include the refitted kitchen with integral appliances and doors leading to the rear garden. Outside, 5 Hartington Road boasts a good-sized rear garden with a sunny aspect and a lovely array of mature planting. Situated on a quiet no-through road, it is just a short walk from the mainline railway station and city centre, offering fantastic access to numerous amenities and shops. This is a rare opportunity to acquire such a high-quality character home.



Directions

From Devizes Road turn left into Hartington Road where number five can be found on your left.

Double Glazed Front Door to:

Entrance Lobby

Internal door to:

Hallway

Stairs to first floor with low level cupboards under. Radiator and exposed floorboards.

Sitting Room 13'5" x 9'4" (4.1m x 2.85m)

Double glazed bay window to front aspect with built in seat. Attractive fireplace with exposed brick surround, slate hearth and wooden mantle. Radiator.

Dining Room 12'11" x 10'9" (3.95m x 3.3m)

Semi-open plan to kitchen creating a fantastic sociable space. Double glazed window to rear, feature tiled fireplace with painted mantle, built in storage cupboard, radiator and exposed floorboards.

Kitchen 12'3" x 7'10" (3.75m x 2.4m)

Refitted shaker style wall and base units with work surface over. Inset ceramic sink with mixer tap, fitted induction hob with oven under and extractor hood over, integral dishwasher and washing machine. Space for fridge/freezer, double glazed window to side and double doors to rear garden. Tiled floor.

First Floor Landing

Stairs to second floor.

Bedroom One 11'1" x 9'6" (3.4m x 2.9m)

Double glazed bay window to front aspect, feature cast iron fireplace with wooden surround, built in double wardrobe and radiator.

Bedroom Two 11'1" x 10'4" (3.4m x 3.15m)

Double glazed window to the rear aspect, feature cast iron fireplace, panelled wall and radiator.

Bathroom 12'1" x 7'10" (3.7m x 2.4m)

White suite comprising push button WC, pedestal basin and walk-in shower enclosure with wet wall splashbacks. Part tiled walls, heated towel rail, obscure double glazed window to rear aspect and cupboard housing gas boiler.

Second Floor

Bedroom Three 21'7" x 12'9" max (6.6m x 3.9m max)

Impressive and flexible space with two defined areas which could allow a study or lounge space. Double glazed window to front and Velux window to rear with lovely views toward Salisbury Cathedral, radiator and exposed floorboards.

Outside

To the front of the house is a small gravelled garden enclosed by a mid-height wall.

To the rear of the house is a lovely sunny rear garden which is particularly generous for a house of this type. Paved patio area leads to a generous flat lawn with mature planting either side, toward the far end of the garden is a further patio, timber shed and pedestrian access to the rear.

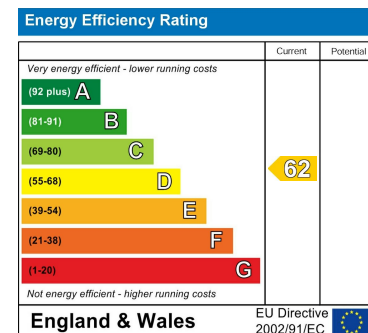
Area Map



Floor Plans



Energy Efficiency Graph



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